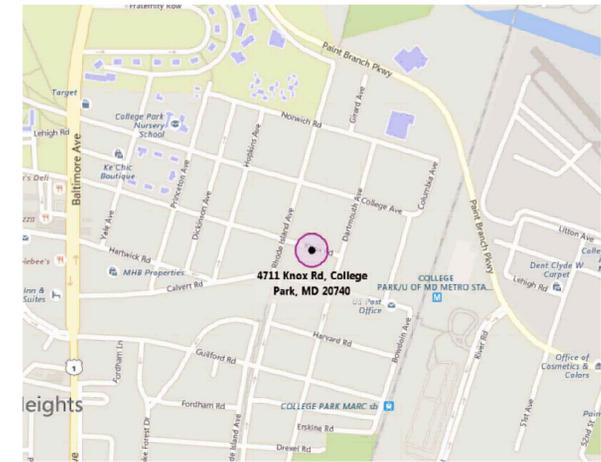


Roof Framing Repairs To: OLD PARISH HOUSE 4711 Knox Road College Park, Maryland 20740



THOMAS J. TALTAVULL
ARCHITECT
2060 PLUM CREEK COURT
GATHERSBURG, MARYLAND 20882
301.840.1847

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No.9083, Expiration Date: 6-13-2016.

Professional Seal

PROJECT TITLE
NO SCALE

5

VINCINITY MAP
NO SCALE

6

General Notes

- These drawings were from information made available to the Architect and Engineers. At existing areas, the drawings show the general location of various building components and equipment which were shown on original drawings.
- All work shall be done in strict accordance with all applicable codes, ordinances, regulations and any additional requirements so stated by any law, ordinance or regulation pertaining to construction within the said limits of the authority (City, County, State or Federal) having jurisdiction.
- The Contractor is responsible for examining all conditions and becoming thoroughly acquainted with the existing conditions prior to preparing bids for the work.
- All construction shall be accomplished in compliance with Occupational Safety and Health Act and all other applicable rules and regulations. It shall be the contractor(s) responsibility to comply with all such laws and regulations.. Contractor shall check with MISS UTILITY before starting work.
- The Contractor shall make all shut-offs and cap all utility lines required to complete the work.
- The contractor shall provide all necessary covers, barricades, fire rated temporary partitions, railings, fencing to protect the building from weather, damage to materials, and to provide public safety. Provide all necessary cover to prevent the spread of dust and dirt.
- It shall be the Contractor's responsibility to provide all bracing, and shoring to protect the structure until all materials and construction can be put in place.
- The Contractor is responsible for staking and laying out all work and for the coordination of all installations allowing adequate space for other equipment, piping, wiring, hvac equipment, etc.
- Where applicable, details and notes shown in any section apply to all similar sections unless noted otherwise.
- All materials, components, systems and interior and exterior finishes shall be installed, assembled, operated and or applied in strict accordance with the drawings and specifications and the manufacturers' printed specifications, recommendations and or instructions for intended purposes as recommended by the manufacturer. Failure to comply with the manufacturer's recommendations or to report any conflicts between the drawings and the manufacturer's recommendations prior to the start of work shall act as a waiver to any claim by the Contractor(s) for any additional expense made necessary by the work.
- The drawings of various disciplines in the Construction Documents are complimentary to one another. All drawings shall be utilized and referred to prior to starting and doing the performance of work in any space.
- The Contractor shall verify and field check all dimensions including material thickness and clearances, structural conditions, mechanical, plumbing and electrical installations and make such modifications, relocation and or re-routing necessary, including required temporary utilities, to complete installations conforming to the Contract Documents.
- The Contractor shall review all drawings and specifications for any conditions that may affect the work and shall report to the Architect any conditions or discrepancies, or request clarification, prior to the start of any work. Failure to report such conditions or discrepancies, or to request clarification prior to the start of any work, is a waiver to any claim by the Contractor(s) for additional expenses made necessary by reason of interpretation of the drawings.
- No modifications, relocation, etc. shall be made which inhibit or interfere with the intended uses of the spaces nor shall any installations be exposed which are intended to be concealed without prior approval in writing from the architect or Owner.
- Verifications and coordination will be accomplished with such timing so that there is no delay in completing all work on schedule.
- The Contractor shall notify the Owner and/or Architect of any major deviations or differences in conditions of the work that would materially affect the quality of the work and/or completion of the Contract.
- At the Architect's discretion, repair, and / or replace any construction materials, equipment, etc. damaged during or by construction activities. Replacement shall match original in quality and appearance.
- All work indicated is new unless noted as existing to remain.

MARYLAND REHABILITATION CODE & BY REFERENCE:

IECC INTERNATIONAL EXISTING BUILDING CODE, 2015 EDITION

IN ADDITION TO THE IECC THE FOLLOWING CODES AND STANDARDS SHALL APPLY:

ICC INTERNATIONAL BUILDING CODE, 2015 EDITION (IBC) WITH LOCAL AMENDMENTS

ICC INTERNATIONAL MECHANICAL CODE, 2015 EDITION (WITH LOCAL AMENDMENTS) (IMC)

NFPA 70 - NATIONAL ELECTRICAL CODE, 2014 EDITION and Subtitle 2, Group14B and Subtitle 9

NFPA - 101 - LIFE SAFETY CODE, 2015 EDITION Subtitle 11 Prince George's County Fire Safety Code Subtitle 4 Prince George's County Building Code

MARYLAND ACCESSIBILITY CODE & BY REFERENCE: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADA)

USE AND OCCUPANCY GROUP:

USE: A-3 Assembly, CHAPTER 3 (IBC) - Community Hall

CONSTRUCTION TYPE: V B Building meets all requirements of this construction type. CHAPTER 6 (IBC)

BUILDING HEIGHT :

ALLOWABLE HEIGHT = 40 FEET - 1 STORIES CHAPTER 5 (IBC)

ACTUAL HEIGHT = 16' ± FEET , 1 STORY

BUILDING AREA:

FIRST FLOOR AREA	EXISTING	PROPOSED
	2045 SF	2045 SF

ALLOWABLE AREA PER FLOOR FOR NON SPRINKLERED BUILDING = 6000 SF

ACTIVE FIRE PROTECTION:

SPRINKLER PROTECTION:
The Existing Building is NOT protected with a sprinkler system.

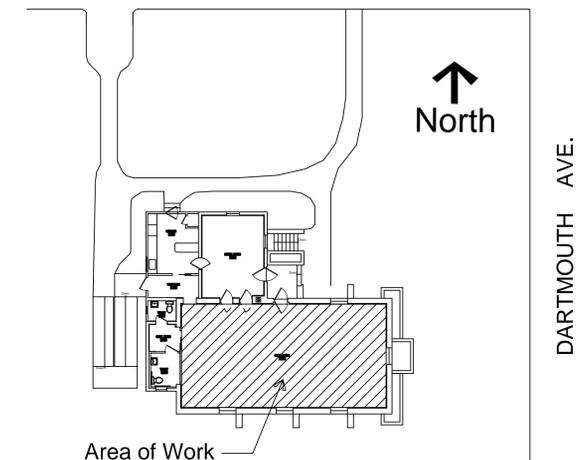
SCOPE OF WORK:

A3 -Assembly - Existing Community Building. Interior structural alterations to existing roof framing at Main Club Room to correct unsafe framing. Removal of existing 12" x 12" acoustic ceiling tiles and batt insulation. Installation of salvaged original wood ceiling and new R49 batt insulation.

BUILDING INFORMATION

SCOPE OF WORK	OWNER'S SCOPE OF WORK IS TO REINFORCE EXISTING ROOF FRAMING AT MAIN CLUB ROOM TO CORRECT DEFICIENT ROOF FRAMING SYSTEM. REINSTALL ORIGINAL WOOD CEILING AND TRIM AND NEW BATT INSULATION.	
JURISDICTION	PRINCE GEORGE'S COUNTY, MARYLAND	
	EXISTING BUILDING	PROPOSED ALTERATION
HIGH RISE (IBC 202)	NO	NO
OCCUPANCY CLASSIFICATION (IBC 302)	(A-3)	A-3
COVERED MALL (IBC 402)	NO	NO
MIXED USE AND OCCUPANCY (IBC 508)	NON SEPERATED	NON SEPERATED
TYPE OF CONSTRUCTION (IBC 602)	VB	VB
FIRE ALARM SYSTEM	NO	NO
FLOOR AREA	2045 SF	2045 SF
FULLY SPRINKLERED & MONITORED	NO	NO
NUMBER OF STORIES	1 ON GRADE	1 ON GRADE

KNOX ROAD



KEY PLAN
NO SCALE

4

Revisions

Drawing Title

Date: July 19, 2016

CS1.0 COVER SHEET, INDEX, GENERAL NOTES,

A1.0 FLOOR PLANS
A2.0 EXISTING BUILDING SECTION
A3.0 PROPOSED BUILDING SECTION

S1.0 ROOF FRAMING PLAN
S2.0 ROOF FRAMING BUILDING SECTION

Repairs to :
OLD PARISH HOUSE
City of College Park
4711 Knox Rd,
College Park, MD 20740

Drawing Number

CS1.0

GENERAL NOTES
NO SCALE

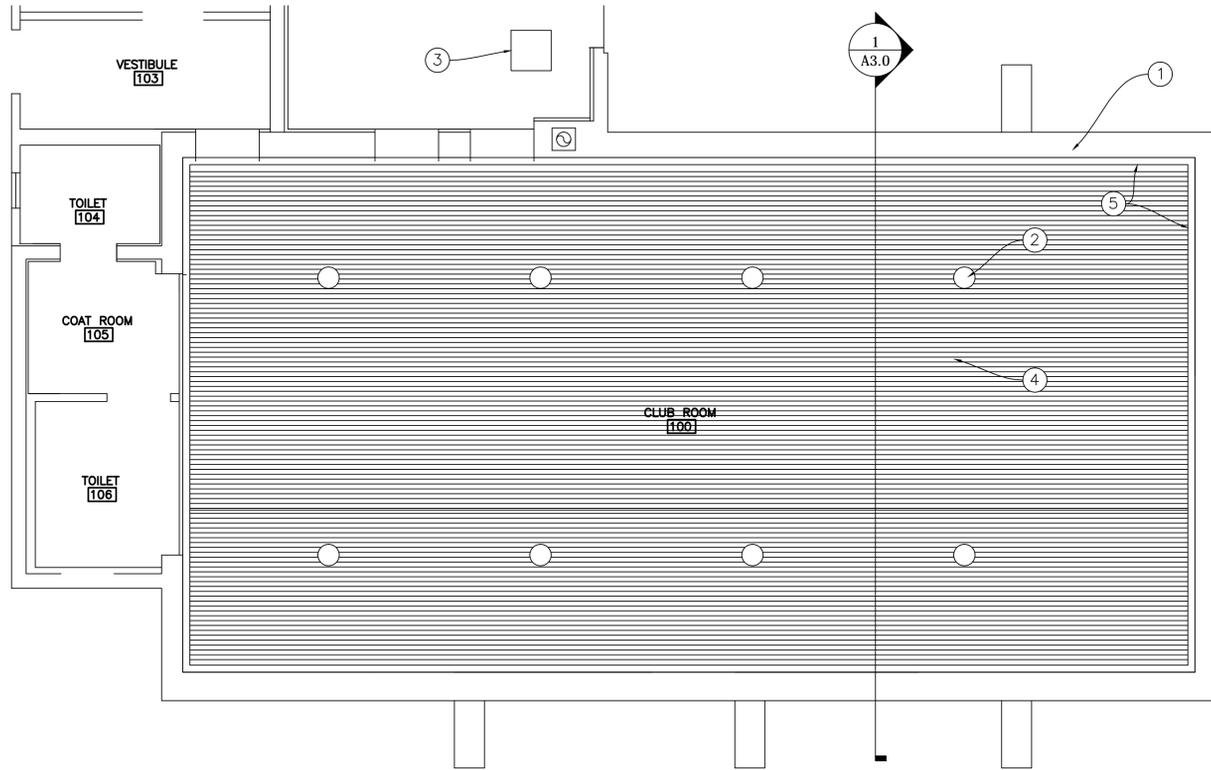
3

CODE DATA
NO SCALE

2

DRAWING INDEX
NO SCALE

1



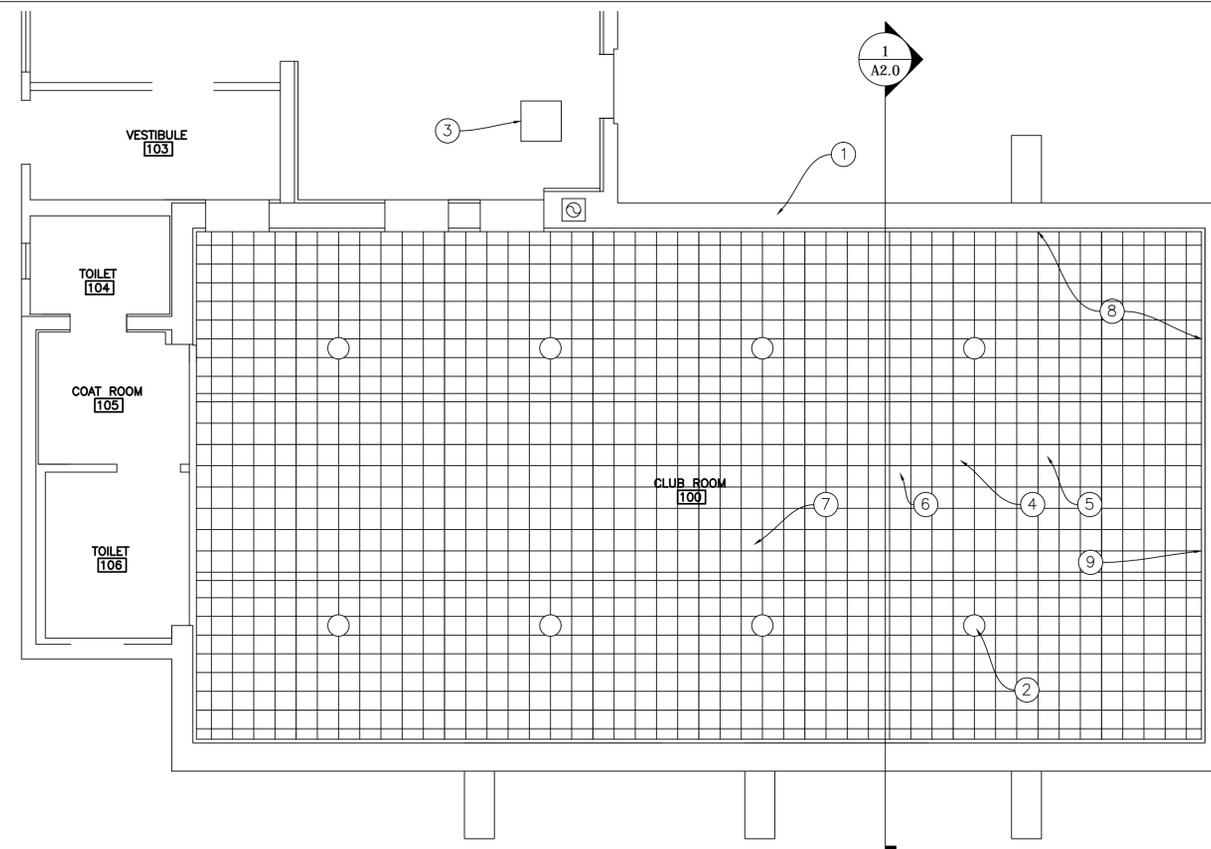
PLAN NOTES:

- ① EXISTING EXTERIOR WALL.
- ② REINSTALL ALL PENDANT LIGHT FIXTURES, WIRING AND CONDUIT TO BE CONCEALED.
- ③ EXISTING ATTIC ACCESS PANEL.
- ④ REINSTALL ALL SALVAGED EXISTING WOOD CEILING BOARDS PROVIDE NEW BOARDS TO MATCH IF REQUIRED..
- ⑤ REINSTALL ALL SALVAGED PERIMETER WOOD TRIM MOULDINGS PROVIDE NEW TRIM TO MATCH ORIGINAL WHERE REQUIRED.

EXISTING FIRST FLOOR REFLECTED CEILING PLAN

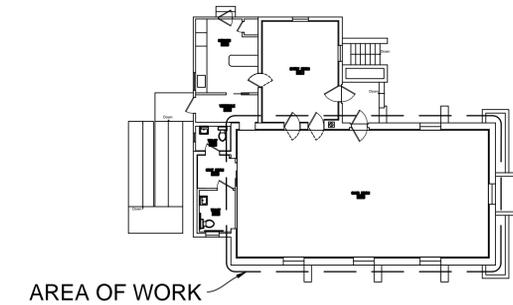
1/4" = 1' - 0"

3



PLAN NOTES:

- ① EXISTING EXTERIOR WALL.
- ② CAREFULLY REMOVE ALL PENDANT LIGHT FIXTURES, WIRING AND CONDUIT. LIGHT FIXTURES WILL BE REUSED.
- ③ EXISTING ATTIC ACCESS PANEL.
- ④ REMOVE EXISTING 12" x 12" ACOUSTIC CEILING TILES AND GLUE.
- ⑤ CAREFULLY REMOVE EXISTING WOOD CEILING BOARDS LOCATED UNDER ACOUSTIC CEILING TILES AND SALVAGE FOR REINSTALLATION.
- ⑥ REMOVE ALL CEILING INSULATION AT CLUB ROOM 100.
- ⑦ REMOVE WOOD CEILING SUPPORT JOISTS. SEE SECTION A2.0
- ⑧ CAREFULLY REMOVE ALL PERIMETER WOOD TRIM MOULDINGS AND SALVAGE FOR REUESE.
- ⑨ REMOVE EXPOSED CONDUIT AT THIS LOCATION AND REINSTALL ABOVE NEW CEILING FRAMING.



KEY PLAN

1/16" = 1' - 0"

2

Revisions

Drawing Title
PLANS

Date: July 19, 2016

Repairs to :
OLD PARISH HOUSE
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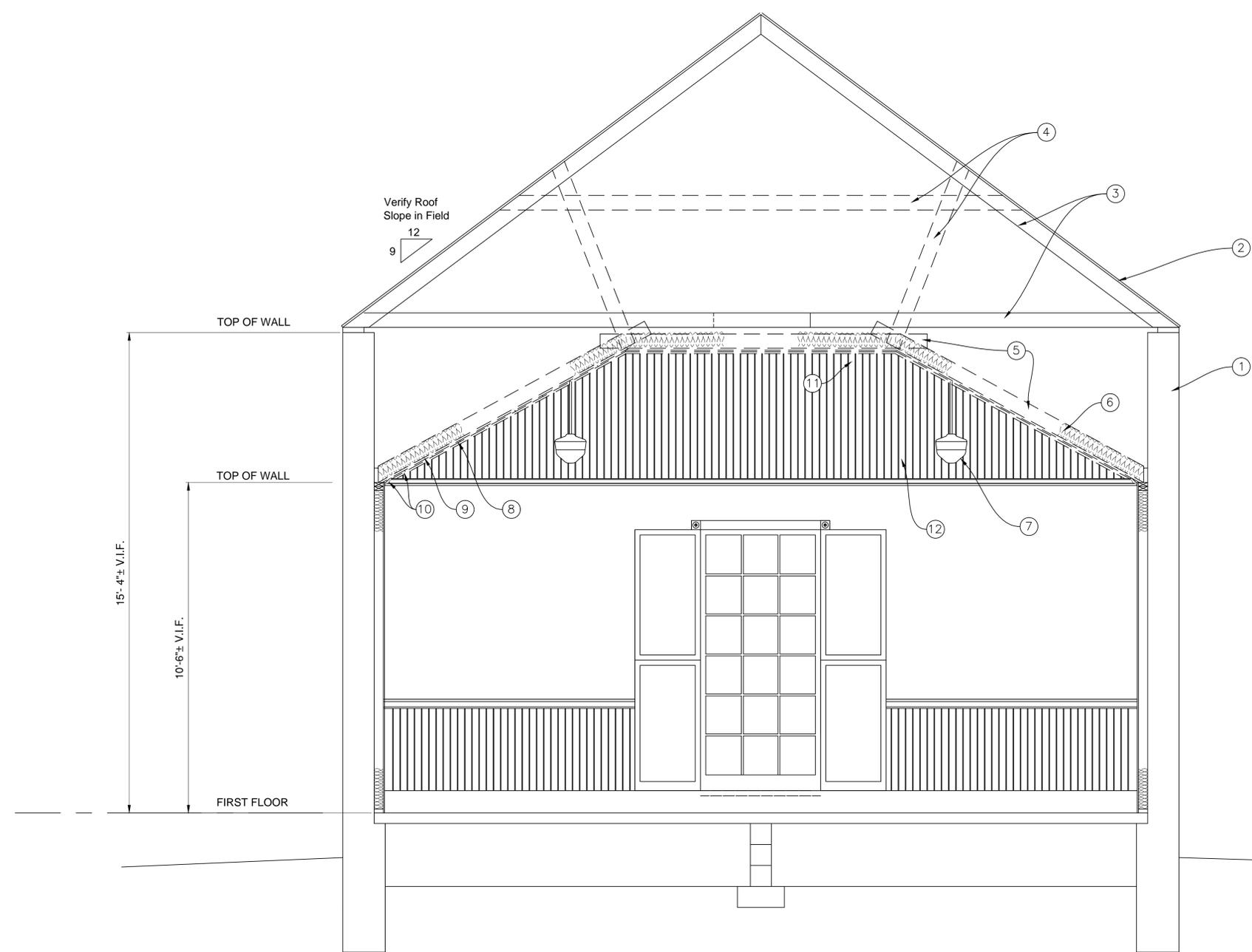
Drawing Number

A1.0

1

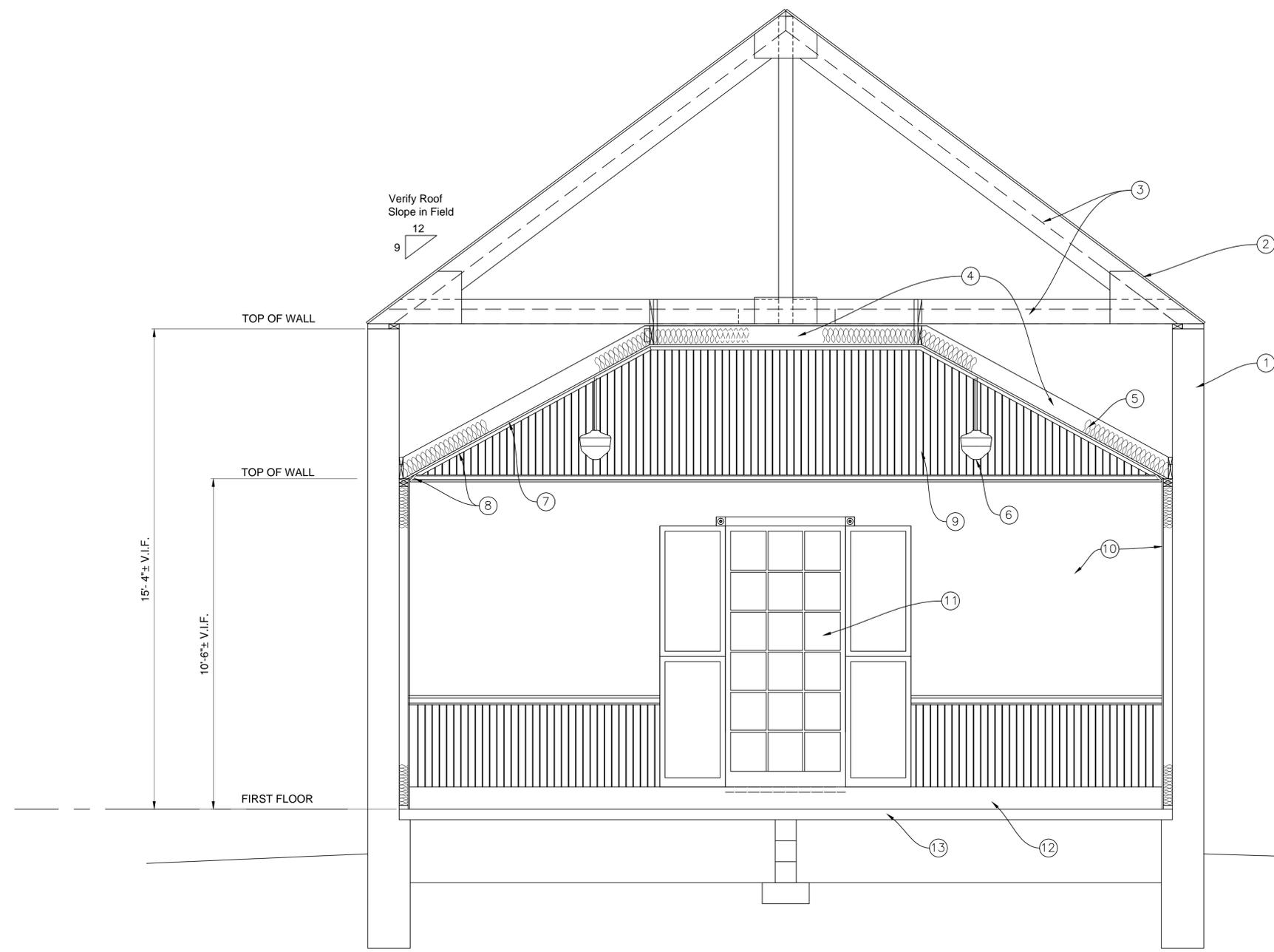
EXISTING FIRST FLOOR REFLECTED CEILING PLAN

1/4" = 1' - 0"



SECTION NOTES:

- ① EXISTING EXTERIOR WALL.
- ② EXISTING ASPHALT SHINGLES OVER WOOD SHEATHING BOARDS TO REMAIN.
- ③ EXISTING RAFTERS AND CEILING JOISTS TO REMAIN.
- ④ EXISTING SUPPORT RAFTERS TO BE REMOVED.
- ⑤ EXISTING CEILING SUPPORT BOARDS TO BE REMOVED.
- ⑥ EXISTING INSULATION TO BE REMOVED.
- ⑦ CAREFULLY REMOVE ALL PENDANT LIGHT FIXTURES, WIRING AND CONDUIT. LIGHT FIXTURES WILL BE REUSED.
- ⑧ REMOVE EXISTING 12" x 12" ACOUSTIC CEILING TILES AND GLUE.
- ⑨ CAREFULLY REMOVE EXISTING WOOD CEILING BOARDS LOCATED UNDER ACOUSTIC CEILING TILES AND SALVAGE FOR REINSTALLATION.
- ⑩ CAREFULLY REMOVE ALL PERIMETER WOOD TRIM MOULDINGS AND SALVAGE FOR REUSE.
- ⑪ REMOVE EXPOSED CONDUIT AT THIS LOCATION AND REINSTALL ABOVE NEW CEILING FRAMING.
- ⑫ EXISTING WOOD PANEL BOARDS TO REMAIN.



- SECTION NOTES:**
- ① EXISTING EXTERIOR WALL.
 - ② EXISTING ASPHALT SHINGLES OVER WOOD SHEATHING BOARDS TO REMAIN.
 - ③ EXISTING RAFTERS AND CEILING JOISTS TO BE REINFORCED. SEE STRUCTURAL SECTION 1/S2.0.
 - ④ NEW 2 x 8 CEILING SUPPORT BOARDS, SEE STRUCTURAL DRAWINGS FOR DETAIL.
 - ⑤ NEW R49 KRAFT FACED FIBERGLASS BATT INSULATION.
 - ⑥ REINSTALL ALL PENDANT LIGHT FIXTURES. ALL WIRING AND CONDUIT TO BE CONCEALED.
 - ⑦ REINSTALL SALVAGED EXISTING WOOD CEILING BOARDS PROVIDE NEW BOARDS TO MATCH EXISTING EXACTLY AS REQUIRED TO COMPLETE CEILING FINISH. PAINT.
 - ⑧ REINSTALL ALL SALVAGED EXISTING PERIMETER WOOD TRIM MOULDINGS. PROVIDE NEW MOULDINGS TO MATCH EXISTING EXACTLY TO COMPLETE INSTALLATION, PAINT.
 - ⑨ EXISTING WOOD PANEL BOARDS TO REMAIN.
 - ⑩ EXISTING DRYWALL TO REMAIN.
 - ⑪ EXISTING WINDOW AND SHUTTERS TO REMAIN.
 - ⑫ EXISTING HOT WATER BASEBOARD HEATING UNITS TO REMAIN.
 - ⑬ EXISTING CONCRETE SLAB.

Revisions

Drawing Title

SECTION

Date: July 19, 2016

Repairs to :
OLD PARISH HOUSE
City of College Park
4711 Knox Rd,
College Park, MD 20740

Drawing Number

A3.0

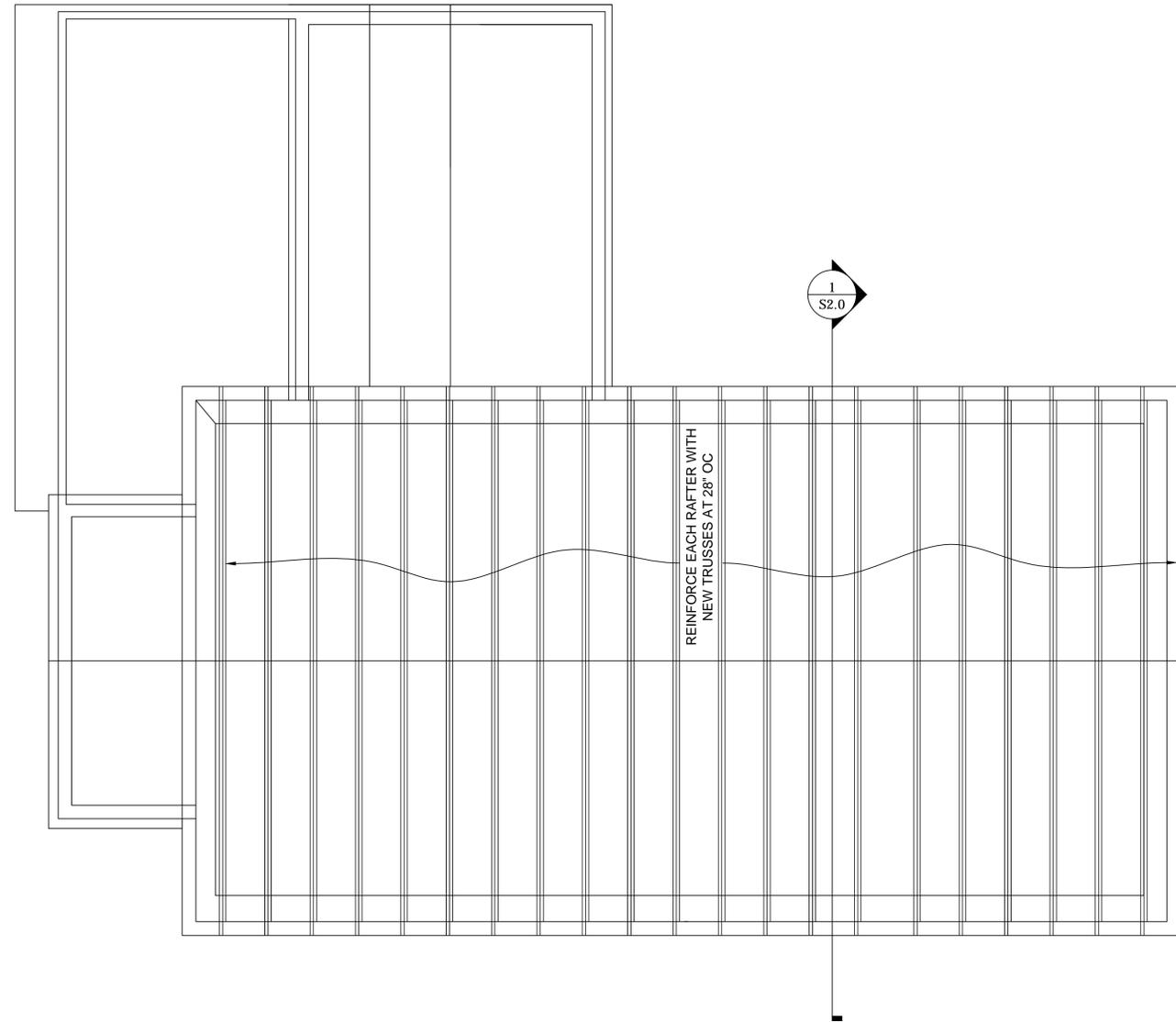


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JAMES M. GROSS, PE
STRUCTURAL ENGINEER
10208 EASTERDAY CT.
HAGERSTOWN, MD 21142
301.824.7450

Professional Certification:
I hereby certify that these
documents were prepared or
approved by me, and that I
am a duly licensed
professional engineer under
the laws of the State of
Maryland, License
No.17267, Expiration Date:
2017-03-01.

Professional Seal



Revisions

Drawing Title

ROOF FRAMING PLAN

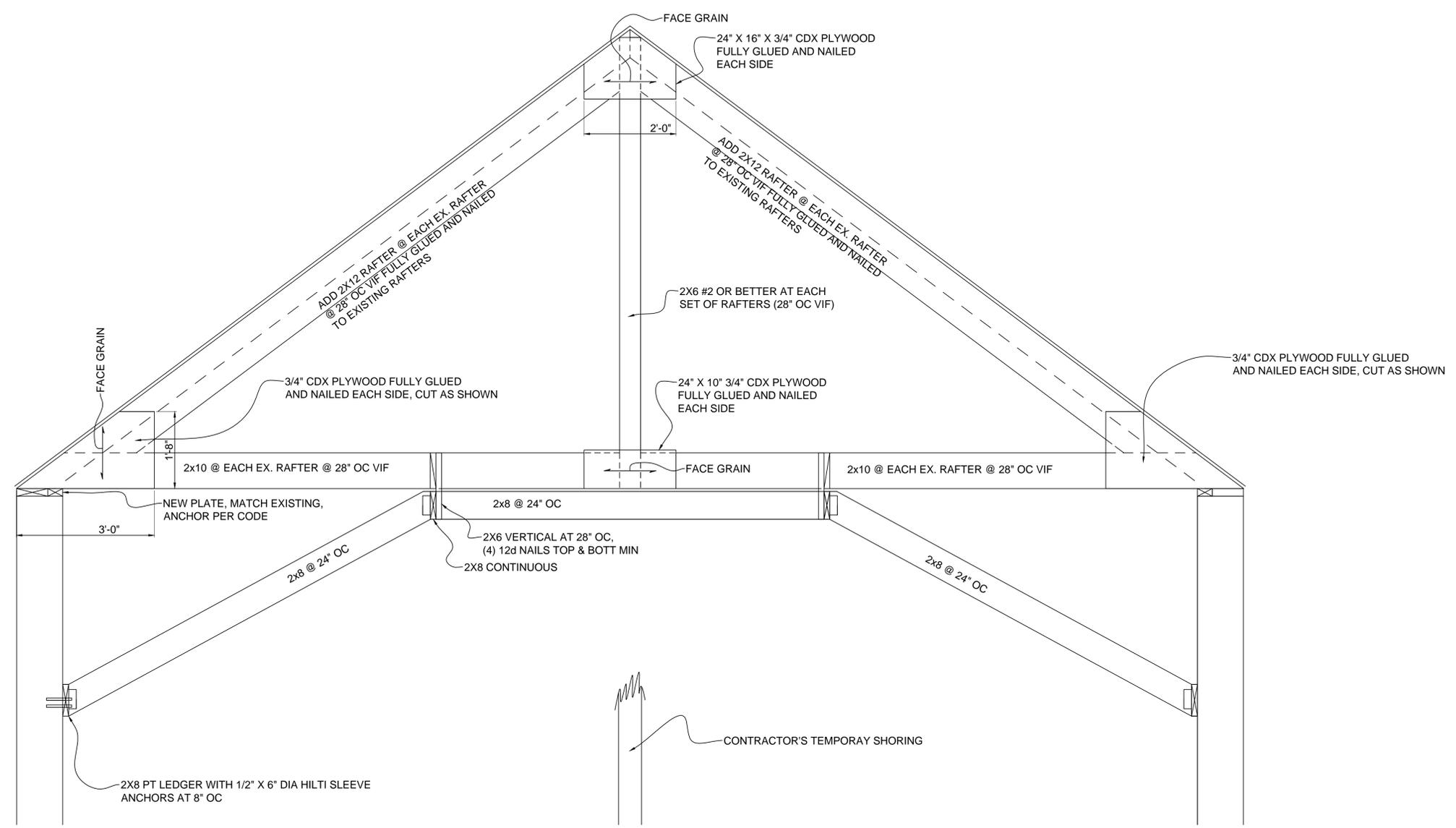
Date: July 19, 2016

Repairs to :
OLD PARISH HOUSE
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College Park, MD 20740

Drawing Number

S1.0

1



SECTION THROUGH ROOF FRAMING – TYPICAL
3/4 = 1' - 0"