

# SHEET INDEX

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C-1.03A	STORM DRAIN DETAILS
C-3.00	DRAINAGE AREA PLAN
L-1.01	LANDSCAPE PLAN

## NOTES:

- TOPOGRAPHY FROM PG GIS DATED: 2012 ADDITIONAL TOPOGRAPHY AND SURVEY FOR STRUCTURES AND SPOT ELEVATIONS PROVIDED BY SOLTESZ ASSOCIATES DATED: JUNE 2015. DATUM: NGVD 88.
- LIMIT OF DISTURBANCE: 2,257 SF
- CUT: 85 CY
- FILL: 25 CY

## GENERAL STORM DRAIN AND PAVING NOTES

- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND OR VACUUM. AT UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCES TO WATER AND SEWER LINES ARE LESS THAN SHOWN ON THIS PLAN, OR LESS THAN TWELVE (12) INCHES, CONTACT THE DEPARTMENT OF PERMITTING INSPECTION AND ENFORCEMENT (DPIE) INSPECTOR BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL STORM DRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STORMWATER MANAGEMENT STANDARDS AND SPECIFICATIONS OF PRINCE GEORGE'S COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION.
- FOR TYPES OF STORM DRAIN STRUCTURES, REFER TO THE LATEST STANDARD DETAILS OF PRINCE GEORGE'S COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION, UNLESS OTHERWISE NOTED.
- ALL ROADWAY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING: THE DPW&T SPECIFICATIONS AND STANDARDS FOR ROADWAYS AND BRIDGES; THE PRINCE GEORGE'S COUNTY CODE, SUBTITLE 23, ROAD ORDINANCE; AND THE PRINCE GEORGE'S COUNTY POLICY AND SPECIFICATION FOR UTILITY INSTALLATION AND MAINTENANCE.
- PRIOR TO DIGGING WITHIN THE PUBLIC RIGHT-OF-WAY, CALL "MISS UTILITY" TOLL FREE AT (800) 257-7777 FOR UTILITY LOCATION AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.
- PRIOR TO PERMIT ISSUANCE AND STARTING ANY WORK SHOWN ON THIS PLAN, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE DPIE INSPECTOR BY CALLING (301) 883-5730. AN INITIAL INSPECTION IS REQUIRED PRIOR TO FULL MASS GRADING OF THE SITE.
- IN ACCORDANCE WITH SECTION 23-128, THE COUNTY'S ROAD ORDINANCE, A PROJECT SIGN SHALL BE POSTED PROMINENTLY DESCRIBING THE FOLLOWING:
  - SUBDIVISION NAME (AS SHOWN ON PERMIT APPLICATION)
  - OWNER/PERMITTEE NAME
  - OWNER/PERMITTEE ADDRESS AND PHONE
  - DPW&T PERMIT NUMBER
- ALL ELEVATIONS SHOWN ON THIS PLAN ARE IN ACCORDANCE WITH THE FOLLOWING: HORIZONTAL—MARYLAND COORDINATE SYSTEM (STATE PLANE GRID) BASED ON NORTH AMERICAN DATUM OF 1983 (NAD 83); NATIONAL GEODOTIC VERTICAL DATUM OF 1929 (NGVD 29).
- TEMPORARY TRAFFIC CONTROL AND PERMANENT TRAFFIC SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE ADJUSTMENT OR RELOCATION OF ALL UTILITIES.
- ALL UNSUITABLE MATERIAL MUST BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO A DEPTH AS DIRECTED BY THE GEOTECHNICAL ENGINEER, THE DPW&T INSPECTOR, AND/OR THE DEPARTMENT'S ENGINEER.
- EXCAVATION AND PLACEMENT OF FILL MATERIAL SHALL BE PERFORMED UNDER THE SUPERVISION OF A MARYLAND-LICENSED ENGINEER.
- THE PERMITTEE WILL BE REQUIRED TO FURNISH COMPACTION REPORTS CERTIFIED BY A MARYLAND-LICENSED ENGINEER ON EACH LAYER OF FILL MATERIAL PRIOR TO PLACING SUBSEQUENT LAYERS.
- DURING THE PLACEMENT OF A STANDARD PAVEMENT SECTION, NO PAVEMENT COURSE OR STONE LIFT SHALL BE PLACED UNTIL THE UNDERLYING COURSE OR SUBGRADE IS APPROVED BY THE DPW&T INSPECTOR. THE APPROVAL SHALL EXPIRE IF TRAFFIC OR INCLEMENT WEATHER AFFECTS THE SITE PRIOR TO PAVING.
- AS SOON AS THE ASPHALT BASE COURSE IS APPROVED, THE INTERMEDIATE ASPHALT COURSE SHALL BE PLACED IMMEDIATELY OVER IT TO FORM A PROTECTIVE SEAL.
- TEMPORARY STREET NAME SIGN INSTALLATION AND MAINTENANCE IS THE OBLIGATION OF THE PERMITTEE ONCE BASE PAVING IS COMPLETED.
- WHERE ROADWAY CONSTRUCTION IS ON OR IN THE VICINITY OF AN EXISTING ROAD, IN-KIND PAVEMENT MARKING AND STRIPING REPLACEMENT (E.G., THERMOPLASTIC, PAINTED, ETC.) ARE REQUIRED. ALSO, APPROPRIATE PAVEMENT MARKING AND STRIPING SHALL BE PROVIDED IN THE AREA OF PAVEMENT WIDENING AND/OR RECONSTRUCTION AND/OR OVERLAY OF AN EXISTING ROAD.
- SAW CUT AND MILL A 2-INCH DEEP, 10-FOOT-WIDE NOTCH AT EXISTING EDGE OF PAVEMENT WHERE IT IS NECESSARY TO CONNECT TO OR TO EXTEND AN EXISTING ROAD. OVERLAY AT POINT OF TIE-IN TO ENSURE A SMOOTH TRANSITION AND POSITIVE DRAINAGE.
- WHERE IT IS NECESSARY TO WIDEN AN EXISTING ROAD, AND MILLING AND OVERLAY REQUIREMENTS HAVE BEEN WAIVED OR REDUCED, THE WIDENING AND THE EDGE TREATMENT OF EXISTING ROAD SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPW&T STANDARD NO. 300.20 UNLESS OTHERWISE DIRECTED BY THE DEPARTMENT.
- ALL RESIDENTIAL ROADWAY FILLET RADII SHALL BE AT LEAST 37 FEET, UNLESS OTHERWISE NOTED. ROADWAYS WITH HIGHER CLASSIFICATION REQUIRE 45 FEET AND/OR 50 FEET RADII.
- AN UNDERDRAIN SYSTEM IS REQUIRED FOR THE FULL LENGTH OF ALL PROPOSED AND MODIFIED ROADWAYS, ON BOTH SIDES, AND TO THE LIMITS OF THE PERMIT SHOWN ON THIS PLAN.
- ALL CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPW&T STANDARDS NO. 300.01 THROUGH 300.04 UNLESS OTHERWISE DIRECTED BY THE DEPARTMENT.
- BRICK CHANNELIZATION IS REQUIRED IN ALL PUBLIC DPW&T STORM DRAIN STRUCTURES. CONCRETE CHANNELIZATION IS NOT ALLOWED.
- POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE AREA COVERED BY THIS PERMIT AND THROUGH ADJACENT PROPERTY FRONTAGES.
- ALL UNPAVED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SODDED.
- ALL SIDEWALK RAMP SHOWN ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPW&T STANDARDS 300.05 THROUGH 300.10 AND SHALL COMPLY WITH THE LATEST REVISION TO THE FEDERAL ACCESSIBILITY GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT.
- ALL SIDEWALKS SHOWN ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST DPW&T STANDARDS AND SHALL COMPLY WITH THE LATEST REVISION TO THE FEDERAL ACCESSIBILITY GUIDELINES OF AMERICANS WITH DISABILITIES ACT.
- ALL SIDEWALKS (EXCEPT AS NOTED HEREIN) ARE TO BE CONSTRUCTED BY THE SITE DEVELOPER.
- SIDEWALKS ALONG FRONTAGES OF OPEN-SPACE PARCELS AND THOSE NOT COVERED BY A SINGLE-FAMILY BUILDING PERMIT SHALL BE CONSTRUCTED UNDER THIS STREET CONSTRUCTION PERMIT.
- THE WIDTH OF A RESIDENTIAL DRIVEWAY APRON AT THE PROPERTY LINE SHALL NOT BE LESS THAN THE WIDTH OF THE ON-SITE PARKING PAD AT ITS WIDEST POINT, A MAXIMUM WIDTH OF 20 FEET, AND A MINIMUM WIDTH OF 10 FEET. A RESIDENTIAL DRIVEWAY APRON FLARE SHALL NOT BE CONSTRUCTED CLOSER THAN 3.5 FEET TO THE NEAREST ADJUTING PROPERTY LINE.
- ALL DRIVEWAY APRONS ARE TO BE CONSTRUCTED BY THE SITE DEVELOPER.

22) ENSURE THAT STREET TREES ARE NO CLOSER THAN 1 FOOT TO THE RIGHT-OF-WAY LINE, IN AN OPEN SPACE SECTION CONFIGURATION, AND NO CLOSER THAN 15 FEET FROM STREET LIGHT OR POLE, AND OF APPROPRIATE HEIGHT SO AS NOT TO INTERFERE WITH EXISTING OR PROPOSED OVERHEAD UTILITY LINES. ALL STREETSCAPE PLANTING SHALL BE IN ACCORDANCE WITH DPW&T STANDARDS 600.01 THROUGH 600.20 UNLESS DIRECTED OTHERWISE BY THE DEPARTMENT.

23) PAVEMENT QUALITY CONTROL AND CORING WILL BE REQUIRED OF THE PERMITTEE FOR ALL PAVEMENT COURSES USING THE FOLLOWING PROCESS:

a. PRIOR TO PAVING, PERMITTEE/PAVING CONTRACTOR SHALL ELECTRONICALLY NOTIFY INSPECTOR OF PAVING DATES (FAX CAN OCCASIONALLY BE ACCEPTED), AND PROVIDE INFORMATION NEEDED FOR CORE TESTING REQUEST (CTR FORM #1). DPW&T INSPECTOR FILLS OUT THE CTR FORM THEN SENDS IT TO THE MATERIALS LAB.

b. CONTRACTORS, WHO ARE NEW TO THE MATERIALS LAB, SHALL ELECTRONICALLY SUBMIT QC PLANS TO IT, AND ARRANGE TO BE INITIATED BY IT PRIOR TO PAVING.

c. THE PERMITTEE/PAVING CONTRACTOR MUST PROVIDE A MD-CERTIFIED FIELD TECHNICIAN FOR DAILY QUALITY CONTROL (QC) TESTING DURING THE ENTIRE PAVING OPERATION (NOT JUST ITS END). FIELD TECHNICIAN SHALL BE ADEQUATELY EQUIPPED WITH A PHONE, CALIBRATED THERMOMETER, AND A CALIBRATED THIN-LIFT DENSITY GAUGE FOR QC AND INSPECTOR-REQUESTED TESTING.

d. HMA DENSITY GAUGES SHALL BE VALIDATED AND CALIBRATED DAILY (SHA 504.03.10, A.2). SO THEIR READINGS CAN BE ACCEPTED FOR COURSE PLACED WITH A TOTAL TONNAGE UNDER 200 TONS OR ACCEPTABLE THICKNESS UNDER 1.2" DUE TO PATCHING, WEDGE & LEVELING, BRIDGE DECKS, ... ETC.

e. FIELD TECH SHALL CALL THE MATERIALS LAB WITH DATE & TIME OF CORE CUTTING SO IT CAN BE WITNESSED, AND CORES & HMA SAMPLES CAN BE RECEIVED ON SITE BY A LAB INSPECTOR.

f. INSPECTOR RANDOMLY SELECTS & MARKS CORE LOCATIONS IN THE FIELD. NOTES THEM DOWN ON THE CTR STATING STREET'S NAME AND ADDRESS, LOT #, STA #, OR DISTANCE FROM NEAREST INTERSECTION, THEN FAXES THE CTR AGAIN TO THE LAB, AND GIVES TO FIELD TECH BOXES FOR ONLY PR. GEORGE'S COUNTY HMA SAMPLES.

g. FIELD TECH SHALL CHECK DELIVERY TICKETS FOR COUNTY-REQUIRED INFO, COLLECT AT LEAST ONE BEHIND-THE-PAVER HMA SAMPLE/MIX/DAY, AND CUT AT LEAST 5 CORES/MIX/DAY BUT NO LESS THAN 2 CORES FROM EACH STREET, UNLESS OTHERWISE INSTRUCTED BY AN INSPECTOR. THEN HAND OVER THE SAMPLES TO DPW&T INSPECTOR NO LATER THAN ONE (1) BUSINESS DAY FROM THE PAVING.

h. IF, AT THE LAB'S DISCRETION, THE CORES' CUTTING IS NOT WITNESSED, CORES SHALL BE RECEIVED IN THE LAB, IN ONE BUSINESS DAY FROM PAVING, AS LONG AS THEY ARE NUMBERED AND WELL IDENTIFIED ON FORM #2 BY: PROJECT NAME, STREET NAME, CORE LOCATION, PAVING DATE, CORING DATE, MIX CODE, ... ETC. IF NOT PROPERLY IDENTIFIED, CORES WILL NOT BE ACCEPTED.

i. IF, AT THE LAB'S DISCRETION, A BEHIND-THE-PAVER HMA SAMPLE IS NOT RECEIVED ON SITE, IT SHALL BE RECEIVED IN THE LAB ALONG WITH CERTIFIED DELIVERY TICKETS, IN ONE (1) BUSINESS DAY, AND BE IDENTIFIED BY: PROJECT NAME, SAMPLING LOCATION, PAVING DATE, & STATE MIX DESIGNATION. IF NOT PROPERLY LABELED, HMA SAMPLES WILL NOT BE ACCEPTED.

j. IF CORES ARE TESTED AT AN INDEPENDENT THIRD PARTY'S TESTING LAB, THAT LAB MUST BE ASHTO ACCREDITED FOR SPECIFIC TESTS, AND BE INITIATED BY THE MATERIALS LAB, WHICH SHALL BE NOTIFIED (FAX CAN OCCASIONALLY BE ACCEPTED), OF THE TESTING DATE & TIME SO IT MAY WITNESS THE 3RD PARTY TESTING.

k. CORE RESULTS SHALL BE REPORTED ON CORE ANALYSIS (FORM #2), E-MAILED TO MATERIALS LAB & INSPECTOR NO LATER THAN ONE BUSINESS DAY FROM TESTING (ONE DAY FROM CUTTING FOR COMPANION CORES), AND MAILED OUT TO PERMITTEE.

l. FIELD TECHNICIANS AND THIRD PARTY TESTING LABS SHALL MAINTAIN A LOG OF THEIR TEST RESULTS, RECOMMENDATIONS, AND ACTIONS TAKEN TO CORRECT THE PROBLEMS, IF ANY. THE LOG SHALL BE AVAILABLE TO DPW&T FOR REVIEW UPON ANY DPW&T INSPECTOR'S REQUEST.

34) PERMITTEE SHALL SUBMIT PROPERTY CORNER CERTIFICATIONS AND UTILIZE METAL PROPERTY MARKERS PER PRINCE GEORGE'S COUNTY CODE, SECTION 24-120, PRIOR TO ACCEPTANCE OF STREETS.

35) WASHINGTON SUBURBAN SANITARY COMMISSION 200 FOOT SHEET NO.: 212 NE 05

36) DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION SITE CONCEPT APPROVAL NUMBER:

37) SEDIMENT CONTROL APPROVAL NUMBER: N/A

38) PRELIMINARY PLAN APPROVAL NUMBER: N/A

39) RECORD PLAT RECORDING NUMBER:

40) APPROVED STREET GRADE ESTABLISHMENT INFORMATION: ORIGINAL STREET NAME APPROVAL NUMBER

41) AT THE TIME OF PERMIT RELEASE, THE FOLLOWING MINIMUM SUBMITTAL REQUIREMENTS WHERE APPLICABLE SHALL APPLY:
 

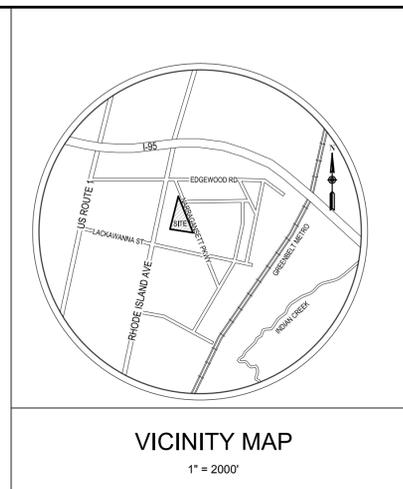
- WASHINGTON SUBURBAN SANITARY COMMISSION PAVING CLEARANCE CERTIFICATION;
- BITUMINOUS CONCRETE CORE CERTIFICATIONS, ALL PAVEMENT COURSES;
- PROPERTY MARKER CERTIFICATION;
- DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION LETTER APPROVING STORM DRAIN AS-BUILT;
- TREE APPROVAL AND TREE BOND POSTED, IF NECESSARY;
- STREET LIGHT PROOF OF PAYMENT (MUST BE ACCOMPANIED BY A MEMORANDUM FROM DPW&T'S TRAFFIC SAFETY DIVISION ACCEPTING THE PROOF OF PAYMENT); AND
- PROOF STATEMENT THAT ALL FINANCIAL MATTERS HAVE BEEN SETTLED.

42) THE PERMITTEE IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL TRAFFIC SIGNS, TRAFFIC SIGNALS, AND ROADWAY MARKINGS FOR ROADWAY IMPROVEMENTS ON SUBDIVISION ACCESS ROADS WHICH INCLUDE ARTERIAL, COLLECTOR, INDUSTRIAL, AND ANY NECESSARY OFFSITE CONDITIONS WHICH REQUIRE ROADWAY IMPROVEMENTS. THE DESIGN AND/OR CONSTRUCTION DRAWINGS SHALL BE INCLUDED ALONG WITH THE PERMIT PLANS, AND SHALL BE REVIEWED AND APPROVED BY THE DEPARTMENT'S TRAFFIC SAFETY DIVISION PRIOR TO PERMIT ISSUANCE.

43) THE PERMITTEE IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL TRAFFIC MARKINGS, TRAFFIC SIGNALS, IF REQUIRED, AND PAYMENT OF FEE FOR STREET NAME SIGNS ON INTERNAL SUBDIVISION STREETS. TRAFFIC SIGNS WILL BE FURNISHED AND INSTALLED BY THE COUNTY.

44) ALL CONCRETE PIPE SYSTEMS 48 INCHES OR LESS SHALL BE INSPECTED WITH A VIDEO CAMERA AS PART OF THE FINAL "AS BUILT" CONSTRUCTION REQUIREMENTS.

45) STABILIZATION PRACTICES ON ALL PROJECTS MUST BE IN COMPLIANCE WITH THE REQUIREMENTS OF COMAR 26.17.1.08 G REGULATIONS BY JANUARY 9, 2013, REGARDLESS OF WHEN AN EROSION AND SEDIMENT CONTROL PLAN WAS APPROVED. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.



## ENGINEERS & DRAINAGE CERTIFICATIONS

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE REQUIREMENTS OF SUBTITLE 32, DIVISION 2 OF THE CODE OF PRINCE GEORGE'S COUNTY WATER RESOURCES PROTECTION AND GRADING CODE; AND THAT I OR MY STAFF HAVE INSPECTED THIS SITE AND THAT DRAINAGE FLOWS FROM UPHILL PROPERTIES ONTO THIS SITE, AND FROM THIS SITE ONTO DOWNHILL PROPERTIES, HAVE BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 NAME: \_\_\_\_\_  
 MD. REG. NO.: \_\_\_\_\_

## UTILITY CERTIFICATION

I HEREBY CERTIFY, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THE EXISTING AND/OR PROPOSED UNDERGROUND UTILITY INFORMATION SHOWN HEREON HAS BEEN CORRECTLY DUPLICATED FROM UTILITY COMPANY RECORDS. FURTHER, THAT THIS PROJECT HAS BEEN CAREFULLY COORDINATED WITH EACH INVOLVED UTILITY COMPANY AND ALL AVAILABLE UNDERGROUND UTILITY INFORMATION RELATIVE TO THIS PLAN HAS BEEN SOLICITED FROM THEM.

SIGNATURE ENGINEER-IN-CHARGE \_\_\_\_\_ DATE \_\_\_\_\_

## BMP & ESD AS-BUILT CERTIFICATION

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE STORMWATER MANAGEMENT FACILITIES (BOTH BMP AND ESD) SHOWN ON THE PLANS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY PRINCE GEORGE'S COUNTY DEPARTMENT OF PERMITTING, INSPECTION AND ENFORCEMENT.

ENGINEERS NAME HERE \_\_\_\_\_ DATE: \_\_\_\_\_  
 MD. REG. P.E. NO. XXXXX

## PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. \_\_\_\_\_, EXPIRATION DATE: \_\_\_\_\_

*Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.*  
 License No. \_\_\_\_\_  
 Expiration Date: \_\_\_\_\_

DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT  
 PRINCE GEORGE'S COUNTY, MARYLAND  
**PEER REVIEW APPROVAL STAMP**

"I hereby certify that I have successfully completed participation in DPIE's Peer Review Program. I have reviewed these plans in detail and they are in conformance with DPIE's General Specifications and Standards."

APPROVAL DATE: \_\_\_\_\_  
 PEER REVIEWER: \_\_\_\_\_  
 COMPANY NAME: Soltesz, LLC  
 PERMIT NUMBER: #36023-2015

**Prince George's County Government**  
 Department of Permitting, Inspections and Enforcement  
 Site/Road Plan Review Division  
 9400 Peppercorn Place, Suite 420  
 Largo, Maryland 20774

**Final Plan BMP SUMMARY TABLE**  
 Revision Date: May 27, 2015  
 Concept No.: 35990-2015  
 Permit No.: \_\_\_\_\_  
 Total Site Acreage: 1.55

POI	LABEL	NAME	MD NORTH	MD EAST	LAND USE	CONSTRUCTION PURPOSE	DRAINAGE AREA (AC)	TOTAL IMPERVIOUS AREA (AC)	NEW IMPERVIOUS AREA (AC)	EXISTING IMPERVIOUS AREA (AC)	PERCENT IMPERVIOUS	Rv	TARGET P <sub>i</sub> (IN)	TARGET VOL (FT <sup>3</sup> )	DESIGN VOL (FT <sup>3</sup> ) USING ESD PRACTICES	DESIGN VOL (FT <sup>3</sup> ) USING STRUCTURAL PRACTICES	MAX ESD VOL (EFT) (EFT)	RETN	ON_OFF_SIT
A	1	Micro-Barricade	490357	113553	Medium Density Residential	REST	0.20	0.20	0.00	0.2	100.0%	0.950	1	224	248	0	248	50	Off Site
B	2	Micro-Barricade	490614	113541	Medium Density Residential	REST	0.06	0.06	0.00	0.06	100.0%	0.950	1	702	725	0	725	50	Off Site

## LOW IMPACT DEVELOPMENT CENTER

5000 Sunnyside Avenue, Suite 100  
 Beltsville, MD 20705  
 Tel. (301) 982-5559  
 Fax. (301) 982-9305  
 www.lowimpactdevelopment.org



SCALE:

## MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

REV. NO. \_\_\_\_\_ DATE \_\_\_\_\_ REVISIONS PRIOR TO APPROVAL \_\_\_\_\_

## COVER SHEET

FOR PERMIT ONLY

## NARRAGANSETT PARKWAY STORMWATER RETROFIT

NARRAGANSETT PARKWAY  
 COLLEGE PARK, MD 20740  
 PRINCE GEORGE'S COUNTY, MARYLAND

ISSUE: \_\_\_\_\_ DATE: 03/29/16

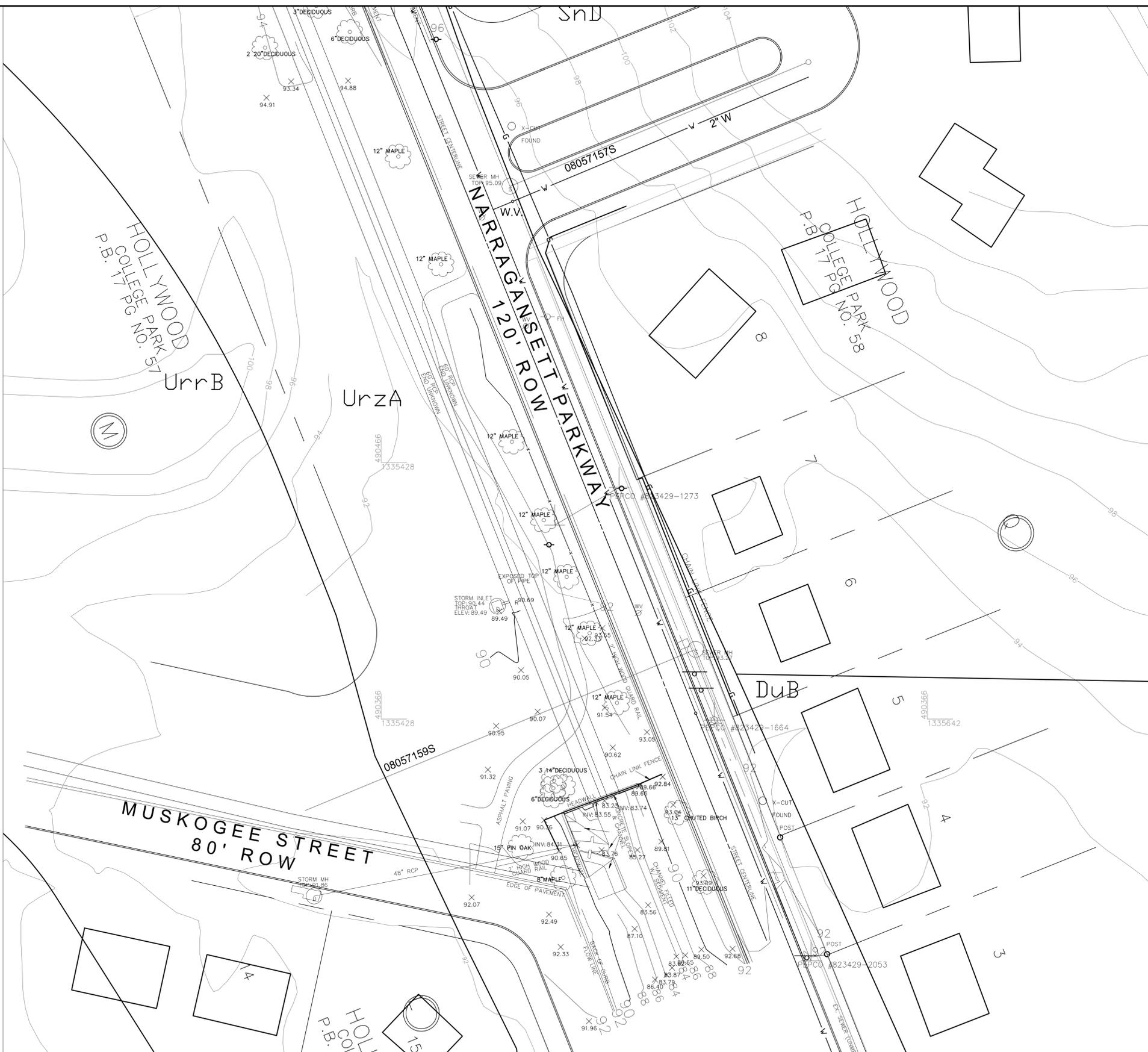
SCALE: \_\_\_\_\_ SHEET 1 OF 7

FILE NO: \_\_\_\_\_

DRAFTED: DM

CHECKED: NW

C-0.00



SCALE: 1" = 20'  
 MD STATE GRID 83/91  
 NGVD 88

**LEGEND:**

— 70 —	EX. CONTOUR
---	EX. PROPERTY LINE
X 66.00	EX. SPOT ELEVATION
○	EX. CANOPY
○ TRE	EX. TREE
○	EX. VEGETATION
— G —	EX. GAS LINE
— W —	EX. WATER LINE
— S —	EX. SANITARY SEWER LINE
— OW —	EX. OVERHEAD WIRE
○	EX. POWER POLE
○	EX. TELEPHONE POLE
○	EX. CURB INLET
○	EX. WATER VALVE
○	EX. GAS VALVE
○	EX. SANITARY SEWER
○	EX. FIRE HYDRANT
—	EX. HEADWALL
—	EX. SIGN
— / —	EX. WOODEN FENCE
UrzA	SOIL TYPE

**BMP & ESD AS-BUILT CERTIFICATION**

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE STORMWATER MANAGEMENT FACILITIES (BOTH BMP AND ESD) SHOWN ON THE PLANS ABOVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY PRINCE GEORGE'S COUNTY DEPARTMENT OF PERMITTING, INSPECTION AND ENFORCEMENT.

ENGINEERS NAME HERE \_\_\_\_\_ DATE: \_\_\_\_\_  
 MD. REG. P.E. NO. XXXXX

**PROFESSIONAL CERTIFICATION**

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- NOTES:**
1. TOPOGRAPHY FROM PG GIS DATED: 2012  
 ADDITIONAL TOPOGRAPHY AND SURVEY FOR STRUCTURES AND SPOT ELEVATIONS PROVIDED BY SOLTESZ ASSOCIATES DATED: JUNE 2015. DATUM: NGVD 88.

DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT  
 PRINCE GEORGE'S COUNTY, MARYLAND  
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APPROVAL DATE: \_\_\_\_\_  
 PEER REVIEWER: \_\_\_\_\_  
 COMPANY NAME: Soltesz, LLC  
 PERMIT NUMBER: #36023-2015

*Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.*  
 License No. \_\_\_\_\_  
 Expiration Date: \_\_\_\_\_

**EXISTING CONDITIONS PLAN**  
 SCALE: 1"=20'

**MISS UTILITY NOTE**

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REV. NO.	DATE	REVISIONS PRIOR TO APPROVAL

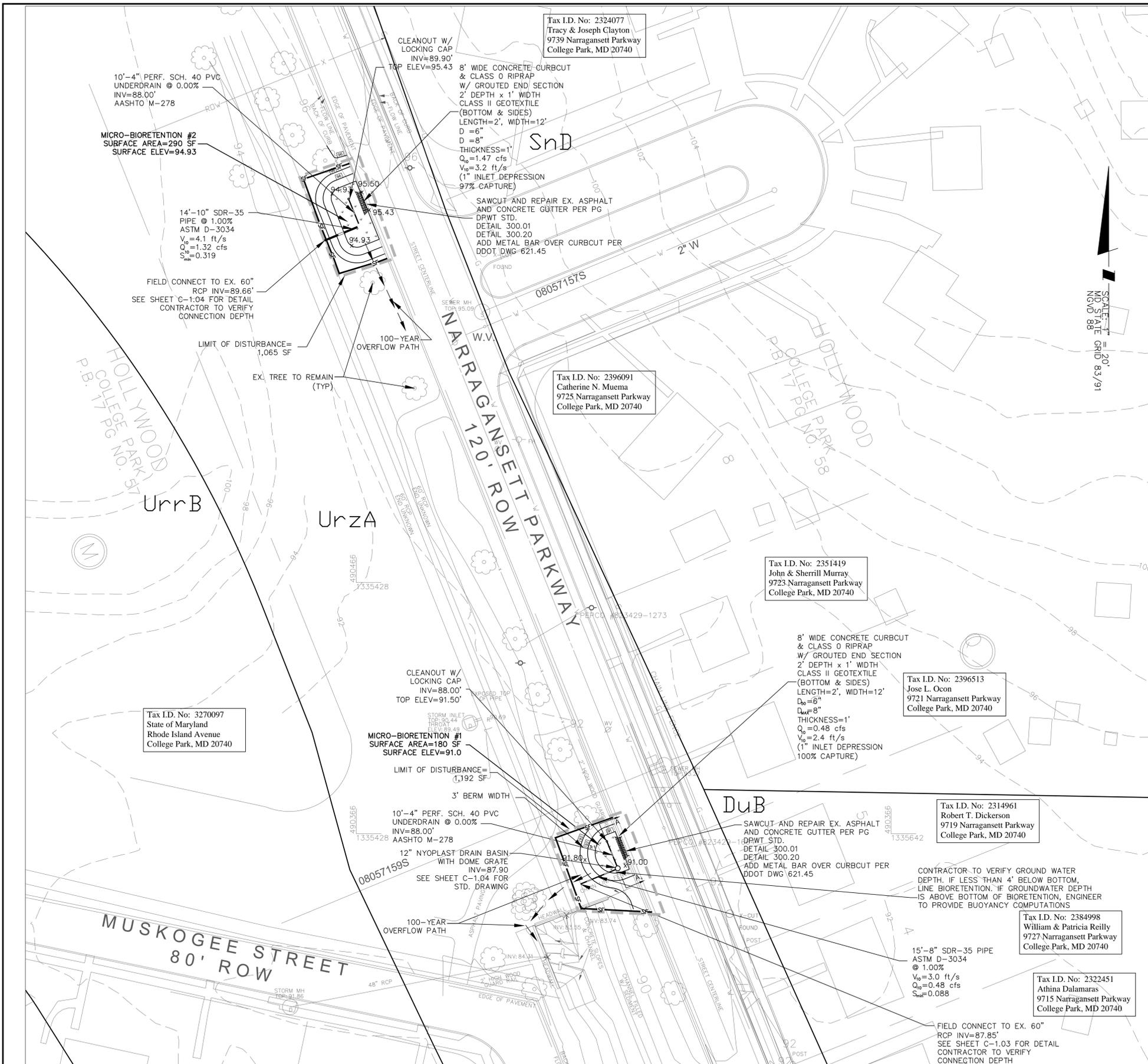
**EXISTING CONDITIONS PLAN**  
 FOR PERMIT ONLY

**NARRAGANSETT PARKWAY  
 STORMWATER RETROFIT**  
 NARRAGANSETT PARKWAY  
 COLLEGE PARK, MD 20740  
 PRINCE GEORGE'S COUNTY, MARYLAND

ISSUE:	DATE: 03/29/16
SCALE: 1"=20'	SHEET 2 OF 7
FILE NO:	C-1.01
DRAFTED: DM	
CHECKED: NW	

**LOW IMPACT DEVELOPMENT CENTER**  
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**LEGEND:**

- 70 — EX. CONTOUR
- - - - EX. PROPERTY LINE
- × 69.00 EX. SPOT ELEVATION
- ☁ EX. CANOPY
- 🌳 EX. TREE
- 🌿 EX. VEGETATION
- G - EX. GAS LINE
- W - EX. WATER LINE
- S - EX. SANITARY SEWER LINE
- OW - EX. OVERHEAD WIRE
- ⊙ EX. POWER POLE
- ⊕ EX. TELEPHONE POLE
- ⊕ EX. CURB INLET
- ⊕ EX. WATER VALVE
- ⊕ EX. GAS VALVE
- ⊕ EX. SANITARY SEWER
- ⊕ EX. FIRE HYDRANT
- ⊕ EX. HEADWALL
- ⊕ EX. SIGN
- // — EX. WOODEN FENCE
- Ur2A SOIL TYPE
- - - - PROP. CONTOUR
- ▬▬▬ LIMIT OF DISTURBANCE
- ⊕ BMP AREA

**BMP & ESD AS-BUILT CERTIFICATION**

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ENGINEERS NAME HERE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 MD. REG. P.E. NO. XXXXX

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. \_\_\_\_\_, EXPIRATION DATE: \_\_\_\_\_

**NOTES:**

**TOPOGRAPHY AND UTILITY LOCATION FROM FIELD SURVEY**

**MOT AND MILL & OVERLAY REQUIREMENTS TO BE REVIEWED BY CITY OF COLLEGE PARK**

DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT  
 PRINCE GEORGE'S COUNTY, MARYLAND  
**PEER REVIEW APPROVAL STAMP**

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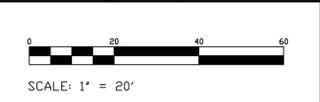
APPROVAL DATE: \_\_\_\_\_  
 PEER REVIEWER: \_\_\_\_\_  
 COMPANY NAME: Soltesz, LLC  
 PERMIT NUMBER: #36023-2015

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. \_\_\_\_\_  
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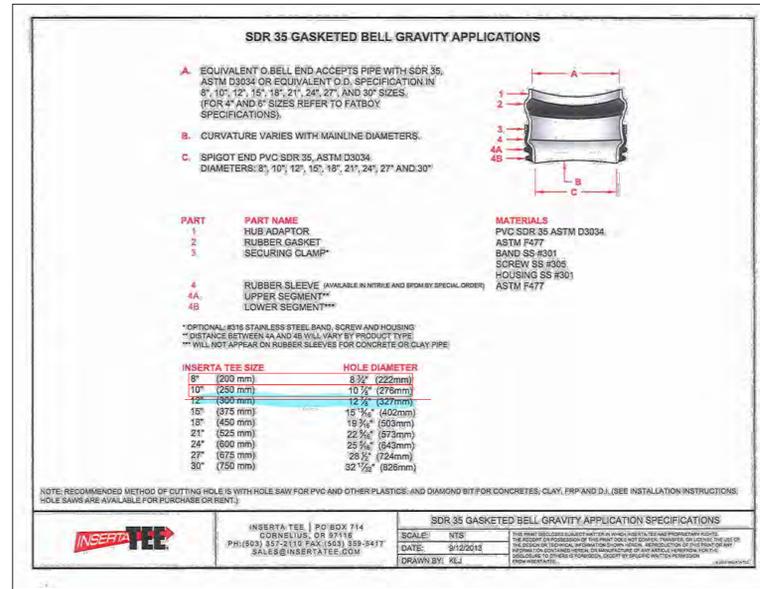
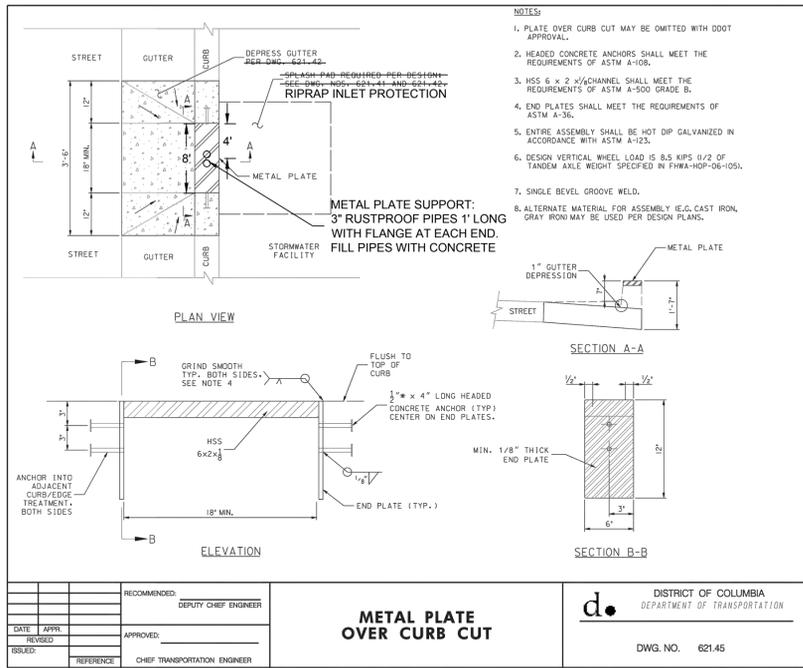
SITE PLAN  
 FOR PERMIT ONLY

**NARRAGANSETT PARKWAY  
 STORMWATER RETROFIT**

NARRAGANSETT PARKWAY  
 COLLEGE PARK, MD 20740  
 PRINCE GEORGE'S COUNTY, MARYLAND

ISSUE:	DATE: 03/29/16
SCALE: 1"=20'	SHEET 3 OF 7
FILE NO:	C-1.02
DRAFTED: DM	
CHECKED: NW	





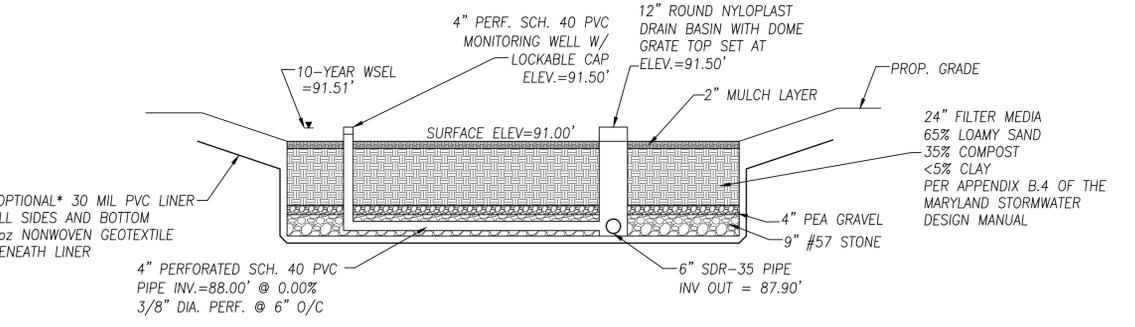
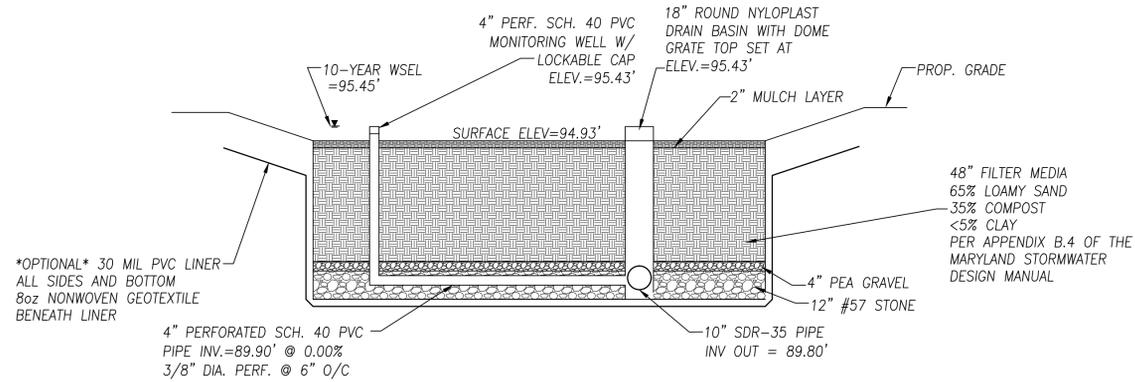
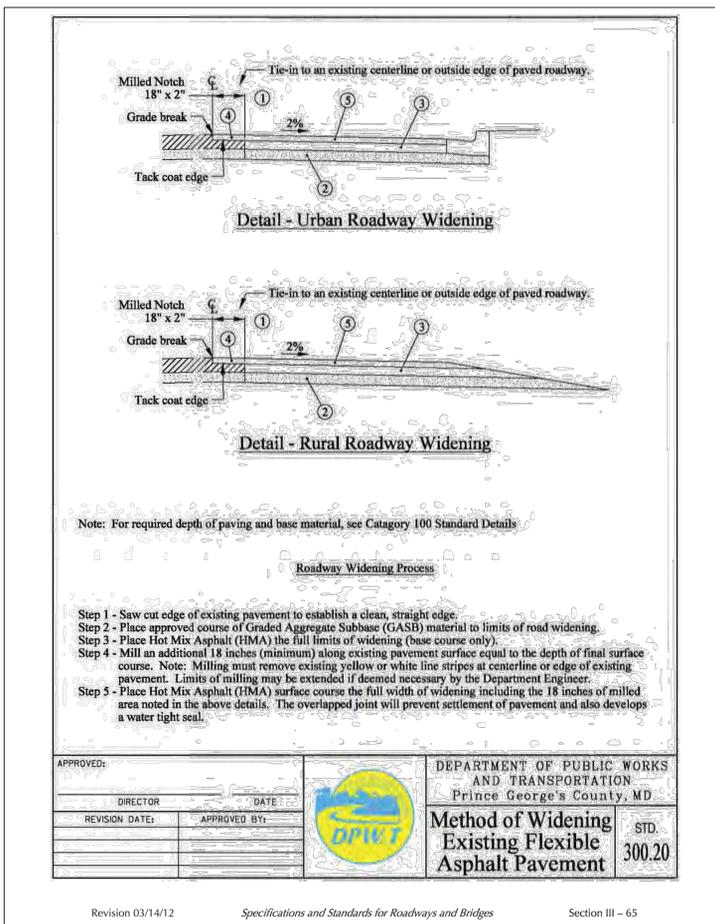
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NOTE: FOR CURB & GUTTER REPLACEMENT/REPAIR, A MINIMUM 2' STRIP OF FULL DEPTH PAVEMENT MUST ALSO BE REPLACED

PAVING SECTION TO BE DETERMINED BY IN FIELD INVESTIGATION, AND APPROVED BY CITY OF COLLEGE PARK

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. \_\_\_\_\_  
Expiration Date: \_\_\_\_\_

**DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT PRINCE GEORGE'S COUNTY, MARYLAND**

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COMPANY NAME: Soltesz, LLC  
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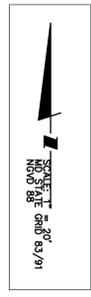
**STORM DRAIN DETAILS**

FOR PERMIT ONLY

**NARRAGANSETT PARKWAY STORMWATER RETROFIT**

NARRAGANSETT PARKWAY COLLEGE PARK, MD 20740 PRINCE GEORGE'S COUNTY, MARYLAND

ISSUE:	DATE: 03/29/16
SCALE:	SHEET 5 OF 7
FILE NO:	1.03A
DRAFTED: DM	
CHECKED: NW	



## DRAINAGE AREA TABLE

DRAINAGE AREA	TOTAL AREA (acres)	IMP. AREA (acres)	OWNERSHIP	TREATMENT	CN	TOC
DA #1	0.20	0.20	PUBLIC	MICROBIO #2	98	.1 hr
DA #2	0.06	0.06	PUBLIC	MICROBIO #1	98	.1 hr

### BMP & ESD AS-BUILT CERTIFICATION

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DRAINAGE AREA PLAN  
SCALE: 1"=60'



DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT  
PRINCE GEORGE'S COUNTY, MARYLAND  
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SCALE: 1"=60'

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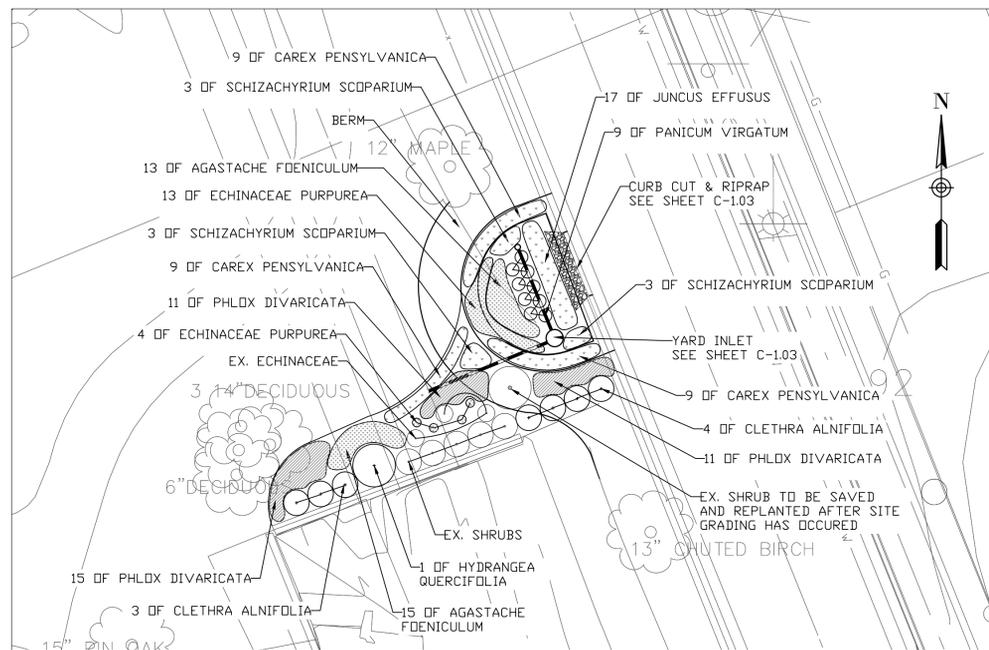
### DRAINAGE AREA PLAN

FOR PERMIT ONLY

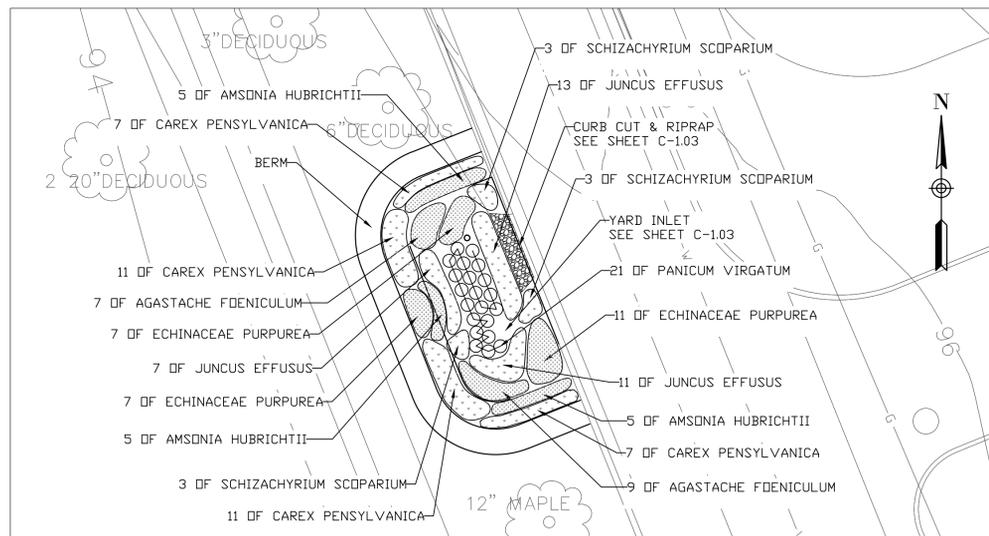
### NARRAGANSETT PARKWAY STORMWATER RETROFIT

NARRAGANSETT PARKWAY  
COLLEGE PARK, MD 20740  
PRINCE GEORGE'S COUNTY, MARYLAND

ISSUE:	DATE: 12/03/15
SCALE: 1"=60'	SHEET 6 OF 7
FILE NO:	C-3.00
DRAFTED: DM	
CHECKED: NW	



**LANDSCAPE PLAN: BIORETENTION AND ADJACENT PLANTING BED**  
SCALE: 1"=10'

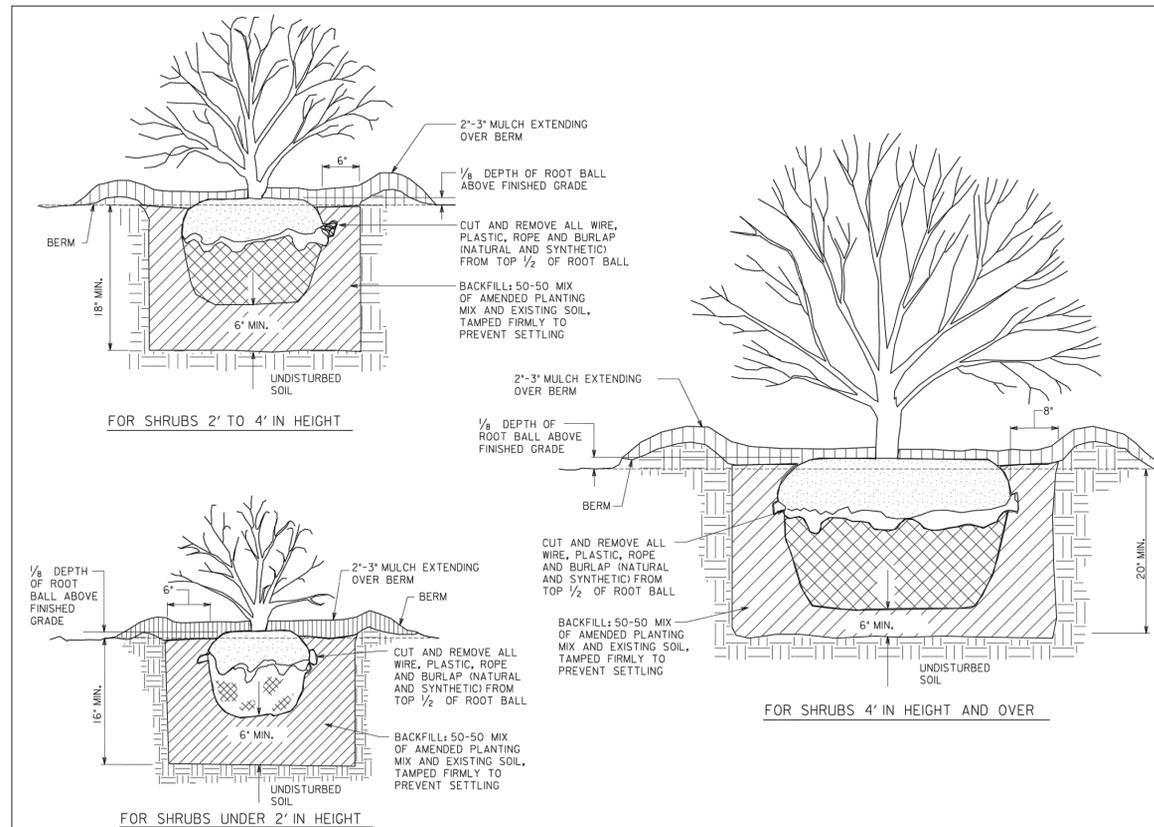


**LANDSCAPE PLAN: BIORETENTION**  
SCALE: 1"=10'

PLANT LIST				
TYPE	QTY	LATIN NAME	COMMON NAME	SIZE/SPACING
SHRUBS	7	CLETHRA ALNIFOLIA	SUMMERSWEET	3 gal. @ 36" o.c.
	1	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3 gal.
PERENNIALS	44	AGASTACHE FOENICULUM	BLUE GIANT HYSSOP	1 gal. @ 18" o.c.
	15	AMSONIA HUBRICHTII	BLUE STAR	1 gal. @ 18" o.c.
	42	ECHINACEAE PURPUREA	PURPLE CONEFLOWER	1 gal. @ 18" o.c.
	37	PHLOX DIVARICATA	WOODLAND PHLOX	1 gal. @ 18" o.c.
	GRASSES	63	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE
	48	JUNCUS EFFUSUS	SOFT RUSH	1 gal. @ 18" o.c.
	30	PANICUM VIRGATUM 'SQUAW'	SWITCHGRASS	1 gal. @ 18" o.c.

**LEGEND:**

- 70 — EX. CONTOUR
- - - EX. PROPERTY LINE
- X 09.00 EX. SPOT ELEVATION
- 17.0E EX. TREE
- EX. VEGETATION
- G - EX. GAS LINE
- W - EX. WATER LINE
- S - EX. SANITARY SEWER LINE
- OW - EX. OVERHEAD WIRE
- EX. POWER POLE
- EX. TELEPHONE POLE
- EX. CURB INLET
- EX. WATER VALVE
- EX. GAS VALVE
- EX. SANITARY SEWER
- EX. FIRE HYDRANT
- EX. HEADWALL
- EX. SIGN
- // — EX. WOODEN FENCE
- EX. SHRUB
- SHRUB
- PERENNIAL
- GRASS
- GROUND COVER



**LANDSCAPE SPECIFICATIONS**

**A. PLANT MATERIALS**

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP, AND TRANSPLANT ALL OF THE PLANT MATERIALS CALLED FOR ON THE DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

**B. PLANT NAMES**

PLANT NAMES USED IN THE PLANT SCHEDULE SHALL BE IDENTIFIED IN ACCORDANCE WITH HORTUS THIRD, BY L.H. BAILEY, 1976.

**C. PLANT STANDARDS**

ALL PLANT MATERIALS SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN (HEREAFTER REFERRED TO AS AAN STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH, AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

(1) ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATIC CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HELED-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

(2) COLLECTED PLANTS OR TRANSPLANTED TREES MAY BE CALLED FOR BY THE LANDSCAPE ARCHITECT AND USED, PROVIDED, HOWEVER, THAT LOCATIONS AND SOIL CONDITIONS WILL PERMIT PROPER BALLING.

**D. PLANT MEASUREMENTS**

(1) MINIMUM SIZE FOR PLANTING SHRUBS SHALL BE, IN GENERAL, EIGHTEEN TO TWENTY-FOUR (18-24) INCHES IN HEIGHT OR SPREAD, AS APPROPRIATE, EXCEPT THAT A LARGER SIZE MAY BE REQUIRED WHEN DEEMED APPROPRIATE BY THE PLANNING DIRECTOR (OR DESIGNEE) IN THE CASE OF PARTICULAR SPECIES OR PLANTING SITUATIONS.

**E. PLANTING METHODS**

ALL PROPOSED PLANT MATERIAL THAT MEETS THE SPECIFICATIONS IN SECTION B. ABOVE ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING PLANTING METHODS DURING THE PROPER SEASONS AS DESCRIBED BELOW.

(1) PLANTING SEASONS

A PROFESSIONAL HORTICULTURALIST/NURSERYMAN SHALL BE CONSULTED TO DETERMINE THE PROPER TIME, BASED ON PLANT SPECIES AND WEATHER CONDITIONS, TO MOVE AND INSTALL PARTICULAR PLANT MATERIAL TO MINIMIZE STRESS TO THE PLANT. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDED THERE IS NO FROST IN THE GROUND AND FROST-FREE TOP SOIL PLANTING MIXTURES ARE USED.

(2) DIGGING

ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B+B) OR BARE ROOT IN ACCORDANCE WITH THE "AAN STANDARDS."

(3) EXCAVATION OF PLANT PITS

THE LANDSCAPE CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS AS FOLLOWS:

(A) ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, WITH BOWL SHAPED SIDES. THE TREE PIT SHALL BE DEEP ENOUGH TO ALLOW ONE-EIGHTH (1/8) OF THE BALL TO BE ABOVE THE EXISTING GRADE. PLANTS SHALL REST ON UNDISTURBED EXISTING SOIL OR WELL COMPACTED BACKFILL. THE TREE PIT MUST BE A MINIMUM OF NINE (9) INCHES LARGER ON EVERY SIDE THAN THE BALL OF THE TREE.

(B) IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE CULTIVATED TO AT LEAST EIGHTEEN (18) INCHES IN DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE CULTIVATED TO AT LEAST TWELVE (12) INCHES IN DEPTH MINIMUM.

(4) PLANT PRUNING, EDGING, AND MULCHING

(A) EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICES AS STATED IN ANSI STANDARDS A300 FOR PRUNING. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS MADE ON AN ANGLE FROM THE BARK RIDGE TO THE BRANCH COLLAR, NO FLUSH CUTS, TO MINIMIZE THE AREA CUT. ALL CUTS SHALL BE MADE WITH SHARP TOOLS. TRIM ALL EDGES SMOOTH. NO TREE WOUND DRESSINGS SHALL BE APPLIED.

(B) ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOD WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.

(C) AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A TWO TO THREE (2-3) INCH LAYER OF AGED SINGLE OR DOUBLE SHREDDED HARDWOOD MULCH OR CHIPS OVER THE ENTIRE AREA OF THE BED OR SAUCER. REFER TO THE MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL.

**F. SEEDING AND SODDING**

ALL SEEDING AND SODDING SHALL BE AS PER 1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

**G. TOP SOIL**

TOP SOIL SHALL BE RETAINED AND/OR PROVIDED ON ALL SITES AND SPREAD OVER ALL UNIMPROVED AREAS.

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FOR PERMIT ONLY

**NARRAGANSETT PARKWAY  
STORMWATER RETROFIT**

NARRAGANSETT PARKWAY  
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PRINCE GEORGE'S COUNTY, MARYLAND

ISSUE: \_\_\_\_\_ DATE: 03/29/16

SCALE: 1" = 10' SHEET 7 OF 7

FILE NO: \_\_\_\_\_

DRAFTED: SC, DM L-1.01

CHECKED: NW